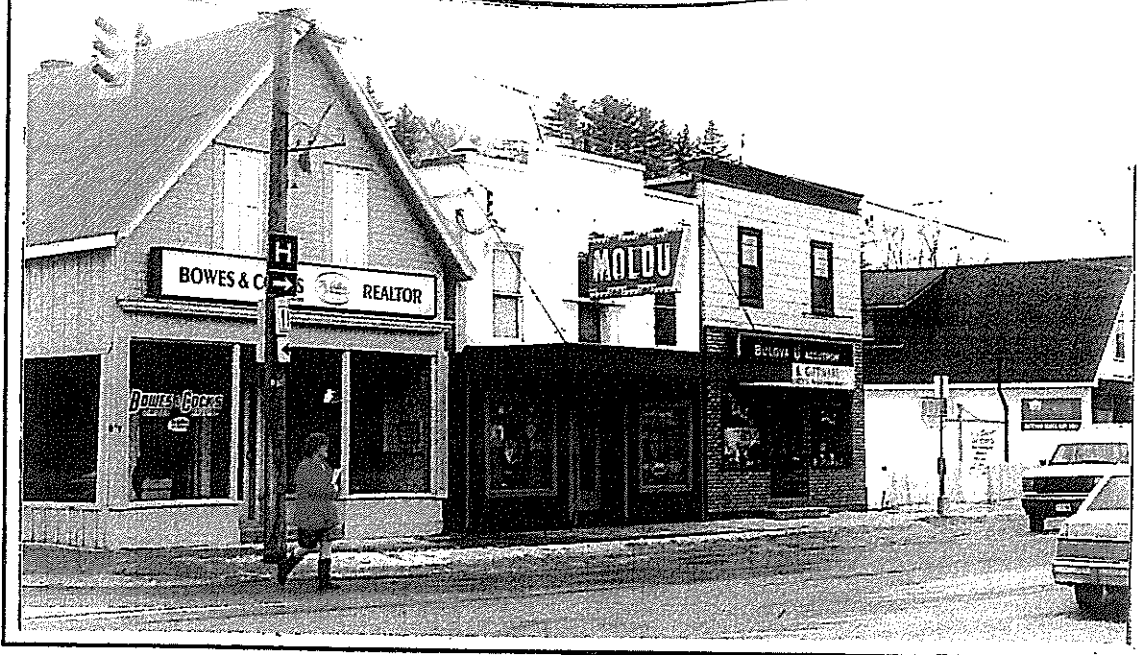




Village of
Haliburton



BUILT FORM GUIDELINES

URBAN DESIGN ASSOCIATES



*Village of Haliburton
Built Form Guidelines*

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1.0 Haliburton Built Form Guidelines

As part of the ongoing process to improve the downtown core of Haliburton, the Haliburton BIA and the Municipality have endorsed a Built Form Guidelines Plan for the community. This is a joint project, to provide a coordinated approach for development in the downtown core and to give direction to those seeking to make improvements.

1.1 Use of Material

This document is composed of a set of specific guidelines which have been endorsed by the Municipality and the BIA to govern the design and style of built form development. The guideline deals primarily with the characteristics of the front facade or front face of buildings and storefronts. It does not govern items including; building codes, materials or application requirements. The document is not a Municipal By-law or building code item which prescribes and measures built form design and construction.

This document is to be used by the Municipality and the BIA to direct the redevelopment of downtown building facades and storefronts. The design guideline for facade improvements will guide Council decisions concerning Site Plan Control. Relevant portions may be incorporated into the Official Plan and Zoning By-law at a later time. Built Form Guidelines will :

- 1) Provide the Municipality with a written guideline by which to review upgrading, new and infill development.
- 2) Assist the Haliburton BIA to play a primary goal in educating and informing interested property owners and developers on the type and form of development to be implemented.
- 3) Assist the BIA to play an active role in encouraging participation by property owners.
- 4) Assist owners and developers to undertake quality projects which reinforce the newly established theme of Haliburton.
- 5) Provide a set of guidelines and principles which when used in association with the By-law, will improve project quality within the core.
- 6) Provide interested developers, builders, building owners, tenants and shopkeepers with a consistent guideline by which to improve and upgrade their properties following a theme.

1.2 Guidelines Format

The Built Form Guidelines document has been prepared in such a manner as to identify several facade or site characteristics and to provide the user with an easy to follow diagram and description of the facade feature which is illustrated. The guidelines are not prescriptive and are not By-laws but rather recommendations and guidelines by which to design and implement building and facade improvements. The facade characteristics are dealt with separately and are intended to describe each feature independently of others. However, it is encouraged that owners undertaking improvements follow as many of the design guidelines as possible to encourage quality projects which reinforce the character of downtown Haliburton and set a higher standard for new development, as it occurs.

Pioneer Building Facade



Fig.1 A pioneer storefront facade incorporates vertical board and batten on a traditional front

Traditional Building Facade

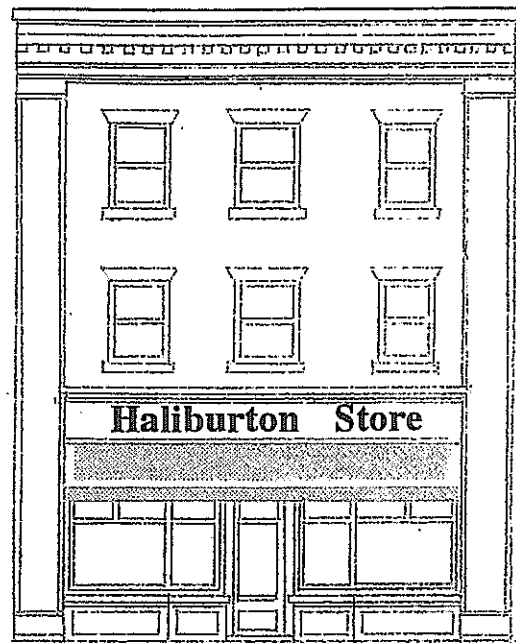


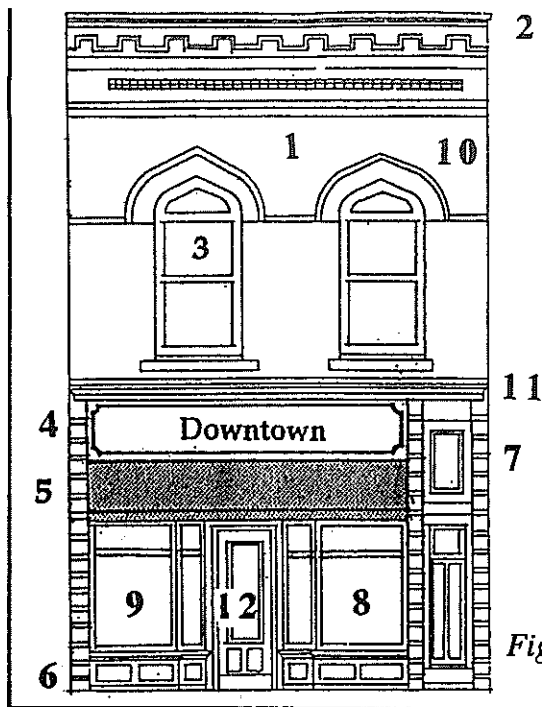
Fig.2 A traditional storefront incorporates traditional and victorian details in the facade

2.0 Traditional Pioneer Theme

The theme to be adopted for the downtown is to be called a traditional pioneer theme. The theme shall guide all forms of development within the core including renovation of existing facades, infill and small scale development and the redevelopment of larger land parcels. The Municipality is to follow the theme guidelines in its review of proposed developments within the core of Haliburton. The use of the guidelines will ensure that development within the core will have a coordinated appearance. BIA merchants, tenants and property owners are to follow the traditional pioneer theme when improvements are being carried out to storefronts and building facades.

2.1 Infill Development

A theme is adopted for the core to guide new development. Infill development occurs when a new structure is constructed within an existing block. In this case the proposed development should conform to the existing block and follow the traditional pioneer theme. Infill development shall utilize traditional elements found in pioneer, traditional, victorian and carpenter gothic architecture to reinforce the overall theme of the core, particularly on the main street. The facade elevation above illustrates an example of infill development which follows the adopted theme. The facade incorporates traditional details used in turn of the century or traditional buildings.



FACADE IMPROVEMENT COSTS

	MINIMUM	MAXIMUM	INITIAL
1. Chemical Clean	\$ 600	2,500	600
2. Cornice Repair	\$ 400	1,500	600
3. Upper Windows	\$ 600	1,800	600
4. Signboard	\$ 400	3,000	600
5. Awning / Canopy	\$ 600	2,600	1000
6. Basepanels	\$ 200	1,200	800
7. Pilasters	\$ 400	1,200	800
8. Display Windows	\$ 600	2,000	1,000
Totals	\$ 3,800	\$ 15,800	\$ 6,000

Fig.3 This is a typical facade in downtown Haliburton, including facade elements which can be upgraded

3.0 Typical Facade Improvements

In downtown Haliburton, the condition of buildings is of major importance. In addition to following the traditional pioneer theme, it is important to encourage owners and tenants of buildings to undertake facade improvements for several reasons, including;

1. Maintain and reinforce the character of the existing downtown area.
2. Stimulate private sector improvements in the core area.
3. Encourage the revitalization and upgrading of private property.
4. Foster and encourage economic growth in Haliburton.
5. Encourage a more attractive and unified traditional pioneer core.

3.1 Sample Facade Improvements

In figure 3. above, 12 of the most common facade improvements have been identified for a typical elevation in downtown Haliburton. The great majority of these improvements are cosmetic or decorative in nature and do not require structural changes. In other cases, building permits are required for all structural changes and additions. The following are the typical types of improvements which are implemented on facades:

1. Chemical cleaning, brick repointing of brick and stone joints for upper and lower fascia.
2. Installation, upgrading or repair of cornice at fascia top and at signboard level.
3. Installation or repair of upper windows.
4. Installation and upgrading of signage and signboards.
5. Installation and upgrading of awnings at storefront level.
6. Upgrading and installation of basepanels and baseboards.
7. Upgrading of columns and pilasters.
8. Upgrading or repair of display windows.
9. Adding horizontal mullions or window brackets.
10. Rehabilitating or highlighting window hoods
11. Adding horizontal signboard cornice
12. Adding traditional door with kick panel



Fig.4 New facades developed on the main street should follow the traditional pioneer theme, be constructed of brick or board and batten and be 2 storeys in height

4.0 Small Scale Infill

Within the downtown core, there are sites along the retail frontage which are vacant. These can be attributed to demolition, fire or other causes. In this case, the vacant parcels or missing teeth sites cause the traditional retail frontage to lose its continuity. These are referred to as infill sites. In most cases, it is desirable to implement new development on these land parcels. Alternatively, these parcels may be developed as small parkettes or squares which add landscaping and open space and contribute to the overall fabric of downtown.

Small scale infill sites are those of 1 or 2 standard retail frontages in width. They are usually found in midblock or corner locations. Most of the building frontages are adjacent to facades of 2 storeys in height in the traditional retail core. It is recommended that if development occurs on these sites, it should follow the existing building fabric of the adjacent sites.

Recommendations

1. Small scale infill development should follow the Traditional Pioneer theme.
2. New infill development should conform to the height of the existing block and adjacent sites.
3. Facade elevations should incorporate traditional detailing, including; cornices, pilasters, awnings, signboards and moldings etc.
4. Infill development should incorporate building elements as described in Section 3.0 and elements found in traditional facades.
5. If facade designs are expressed in a contemporary vernacular, the building scale should be in keeping with adjacent sites.
6. Parkettes, located strategically, should be considered for infill sites.

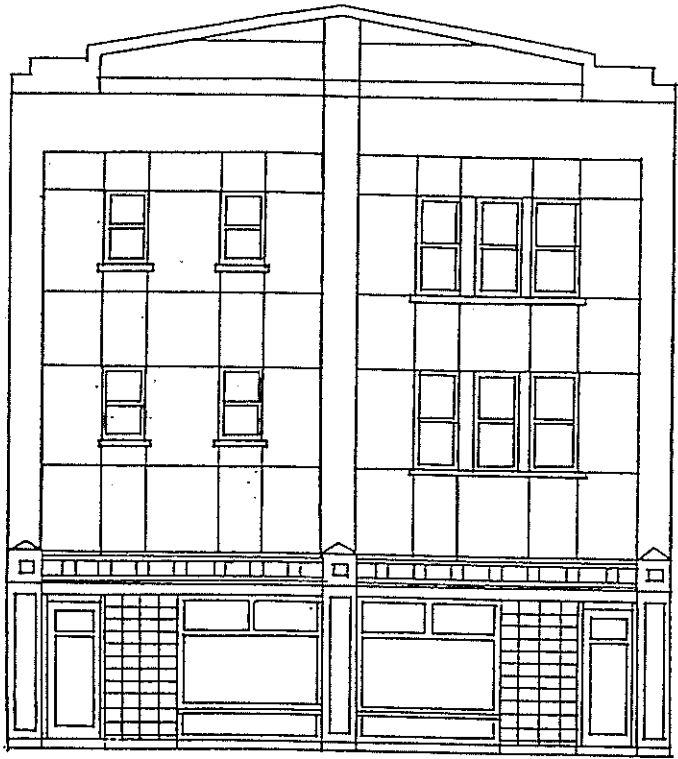


Fig.5 Buildings in the core should not exceed 3 storeys in height and incorporate traditional pioneer details.

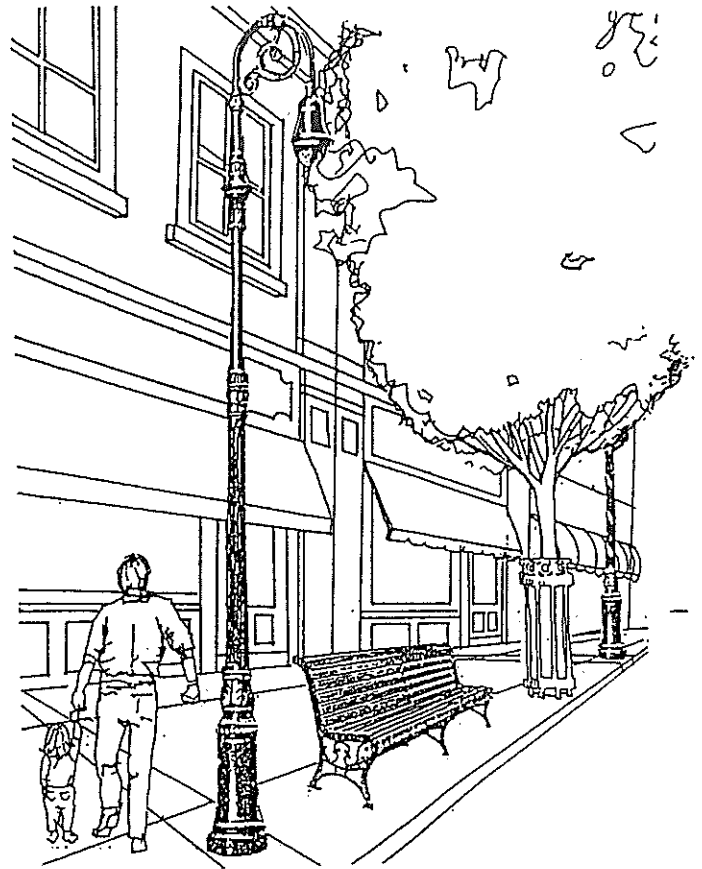


Fig.6 Streetscape elements should incorporate traditional styles in hunter green and black

5.0 Large Scale Infill

Throughout the core there are several large parcels of land, ie. the IGA parking lot which are either vacant or underutilized and may contain potential development sites. The area of lands behind the main street to the south are also an example of sites which could come under future development. Large scale infill development sites provide opportunities for downtown revitalization through redevelopment because they are often in strategic locations. It is recommended that two important features of the theme must be followed to ensure that large scale development reinforces the image of downtown. Traditional pioneer architectural facade elements should be incorporated and development should reinforce the existing character of the core.

5.1 Streetscape Theme

In order to follow the theme of the built environment and reinforce the overall character of downtown, public streetscape improvements are to also follow the traditional pioneer theme . Streetscape elements including; lighting, sidewalk paving, furniture, signage and planting are to be implemented according to the theme. The BIA has implemented a comprehensive streetscape improvement plan for the core and side streets. The public streetscape improvements are well coordinated and follow the guidelines of the traditional pioneer theme. For example, the benches and waste receptacles will match with the traditional pioneer theme identified for facade improvements. The implementation of the BIA streetscape improvement program and the Haliburton theme will ensure an aesthetically coordinated downtown appearance.

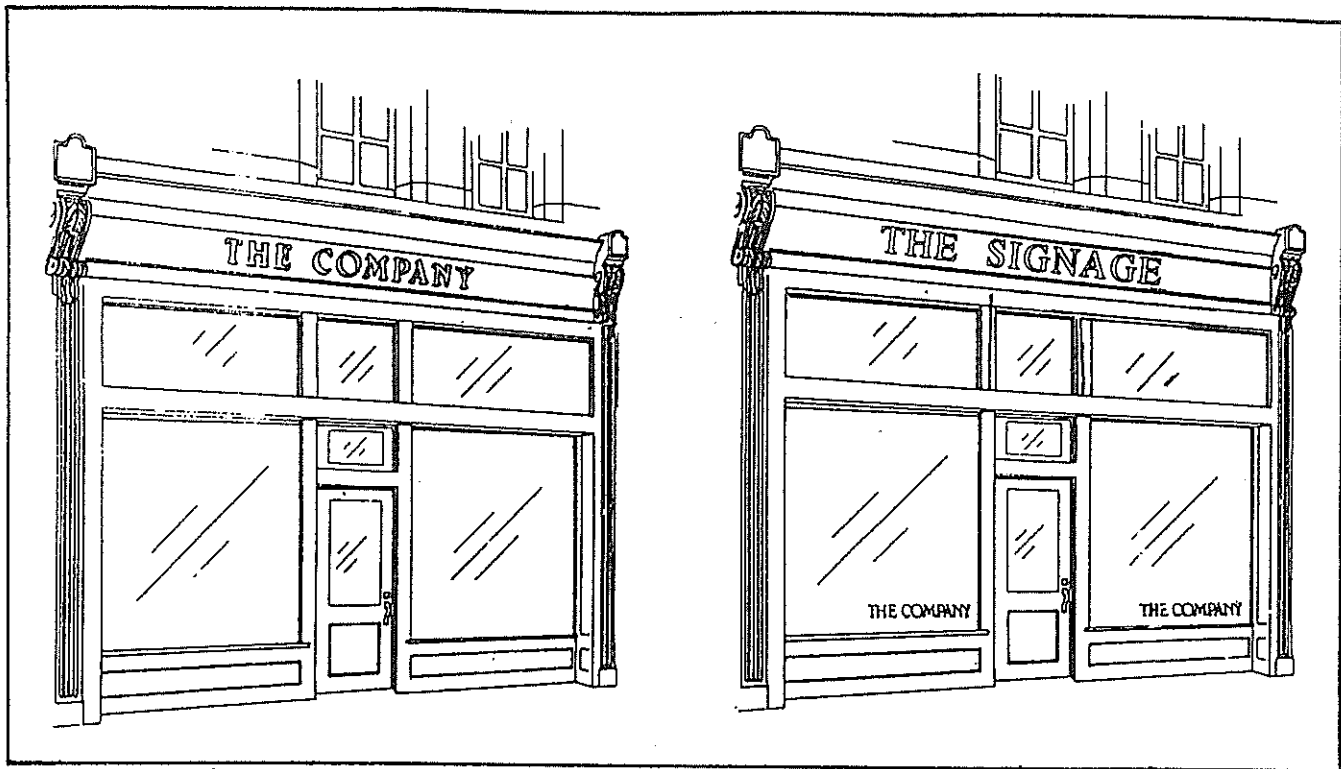


Fig.7 Signboards should be located above the transom windows, between the columns or storefront pilasters and incorporate a signboard cornice above the signboard.

Fig.8 Signboards should be completed in a raised letter style on a wood signboard. Small overhanging 'teaser' signs should also be incorporated where possible.

6.0 Signage Program

The second most important problem in the core area, is the quality and type of signage which is found in typical storefronts. Within the boundaries of the core, 45% of the signage is in only fair condition and requires improvement or upgrading.

The typical conditions which are found, include; outdated, handpainted, unmaintained, oversized signage and no signboards. This condition has a negative impact on the Haliburton's image.

It is recommended that a **Signage Program** be implemented in the core. To this end, detailed design guidelines are provided for signage improvements. The design guideline identifies fascia signage which should be removed, changed or modified. If signage is improved in a comprehensive manner, the image of the downtown will be enhanced.

Recommendations

1. Signboards are to reinforce the traditional theme of the core in their style and type.
2. Traditional typefaces are recommended to reinforce the traditional theme in the implementation of signboards. Signboards are to be no more than 15% of the fascia elevation.
3. Each storefront should contain only 1 signboard. Duplicate, excess and overhead signage should be removed.
4. Sandwich boards and signage displays are not allowed for use on public sidewalks.
5. Excess signage including; posters, pamphlets and decals etc. are discouraged from use on storefront display windows.



Fig.9 Signboards within adjacent facades or within the same building storefront should be of the same height. Where signage is at different heights signage should be adjusted so that the signage is similar. In addition signboards should be of the same width and length in a single building

6.1 Signboard Coordination

Within the core, many of the buildings are composed of several individual building blocks. Within these larger building blocks, individual storefronts of up to 8 in number have a common upper fascia. Another condition which can negatively impact the district is poor or lack of coordination of signboards within adjacent storefronts.

There are a large number of larger continuous building blocks within the B.I.A. which have this problem. It is therefore recommended that signboard coordination between adjacent and multiple storefronts be coordinated in a comprehensive fashion.

Recommendations

1. Storefront signboards which exist between adjacent fascias and are located within building blocks are to be located at similar heights.
2. Signboards which block or encroach second storey windows are to be removed or replaced according to the design guidelines.
3. Signboards are to include signboard cornices to reinforce the traditional theme and complete the signboard detail.
4. The most desirable lighting for signage is to have gooseneck lighting for traditional wood signs with raised letters. Large backlit lights should be gradually replaced.

6.2 Signboard Letter Typefaces

Baskerville <small>Old Face</small>	Garamond
Bembo	Goudy Old Style
Bodoni <small>Bold</small>	Modern No 20
Caslon 540	Rockwell <small>371</small>
Cheltenham <small>Old Style</small>	Palatino
Cheltenham <small>Medium</small>	Souvenir <small>Light</small>
Century	Souvenir <small>Medium</small>
Franklin Gothic	Times <small>New Roman</small>

Fig.10 The above chart indicates the types of fonts or typefaces that would be recommended for core area signage

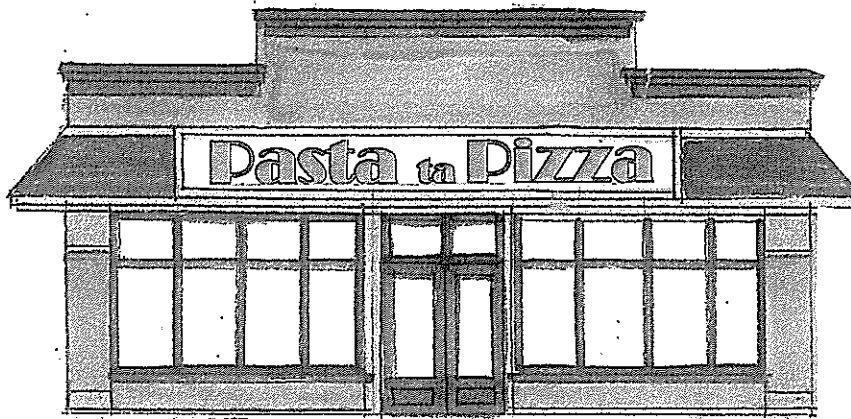


Fig.11 Pasta ta Pizza is a good example of a traditional signage typeface on a backlit box sign in Haliburton



Fig.12 Here is another good example of raised channel typefaces mounted individually on a fascia. Note the lighting is provided by 3 gooseneck style light fixtures

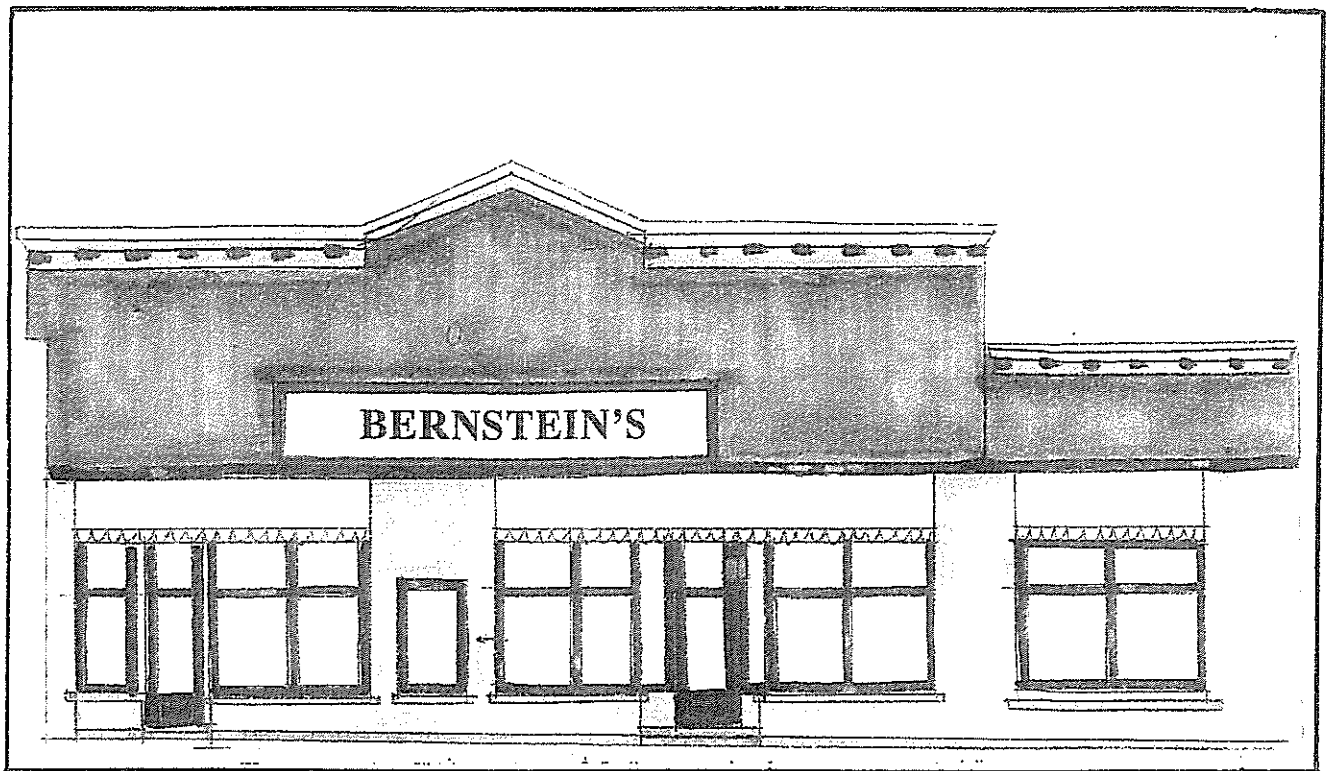


Fig.10 The heritage slate blue colour above for the proposed board and batten upper fascia is an example of the traditional pioneer Williamsburg Series colour palette.

7.0 Colour Program

In adopting a strategy to undertake facade improvements, it is important to identify elements which can provide a sense of coordination and continuity for the downtown. In this case, the identification and use of colour is an important feature in the improvement plan.

At present, on the main street, there is not a predominant colour scheme, however red brick upper fascias and board and batten fascias in light colours primarily exist. To this end, this eclectic appearance mixture should be coordinated in a more unified colour scheme.

In this case, it is recommended that upper facades should be completed in red, yellow or brown brick. If board and batten upper fascias exist, they should be finished in traditional colours following the overall colour scheme for Haliburton. The overall colour scheme should follow a heritage colour scheme. This colour scheme is commercially known as the Williamsburg Series.

Recommendations

1. In order to follow an overall colour scheme to enhance the core, all brick predominant facade surfaces should be returned to their original colour.
2. The overall colour palette should follow a traditional pioneer or Williamsburg Series.
3. The colour scheme to be adopted is a traditional pioneer theme, utilizing an indigenous colour palette including colours such as beige, off-white, grey, maroon, olive green, slate blue, red brick etc.
4. Where possible, upper cornices, window frames and detailing are to be treated in light colour tones to contrast with brick veneers.
5. The colour scheme guideline is to be utilized for architectural detailing including, cornices, mouldings, lintels, quoins, balustrades, signboards, awnings, shutters and window mullions.



Fig.11 Awnings are recommended for storefronts where appropriate, to provide for colour embellishment and environmental protection above the sidewalk area

8.0 Awning Program

At present, many facades within downtown add character with the use of awnings. The downtown area is an heritage area and as such awnings have been used in the streetscape. Awnings provide shelter from environmental conditions and for display window merchandise. In addition, consistency and the use of awnings can provide an improved image and appearance for the facade streetscape. Therefore, if awnings are installed they should be used in a manner acceptable to the Municipality.

Recommendations

1. If awnings are installed, they should be designed so as not to impede traffic and sidewalk maintenance. They should be rolled up overnight and installed with public safety in mind.
2. Facades characterized by traditional pioneer detailing should utilize canopy awnings or awnings which respect the scale of the fascia.
3. Contemporary facades are to utilize canopy or waterfall awnings in implementing facade improvements.
4. Storefront awnings are to be located within the area defined by the pilasters and are to follow the guidelines.
5. The implementation of awnings and canopies is to follow the colour guideline developed for the core area of Haliburton .

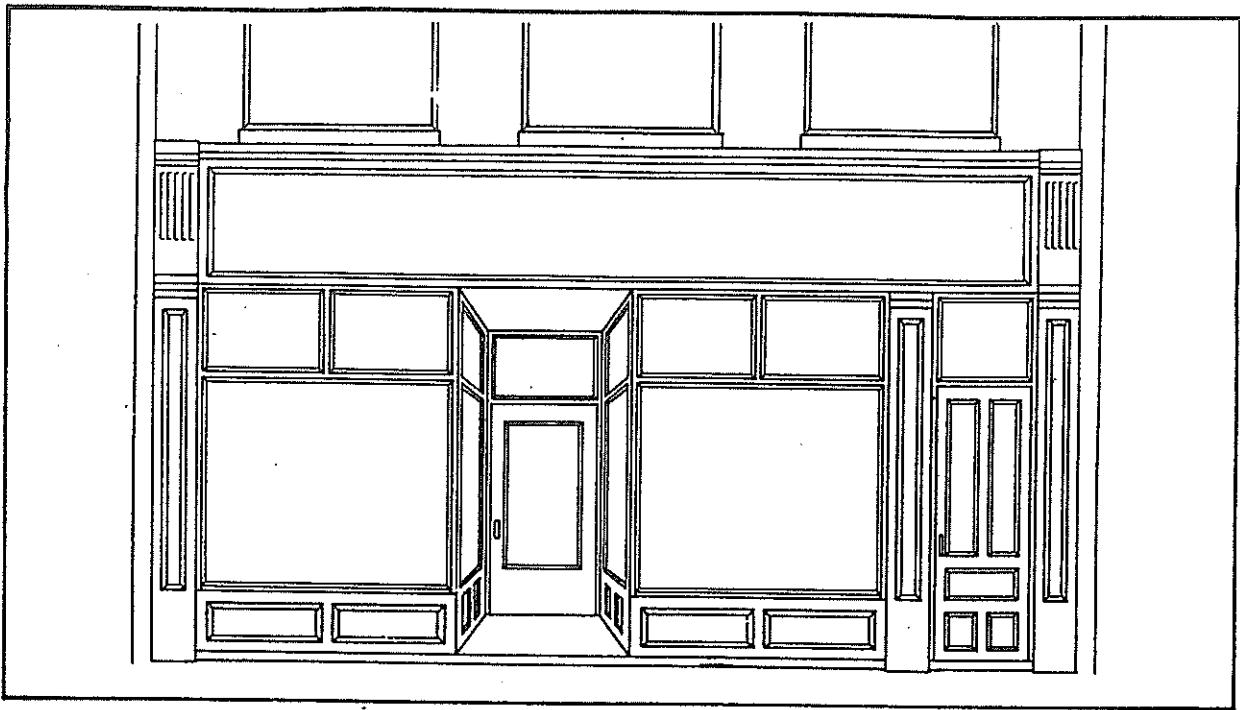


Fig.12 To follow the traditional pioneer theme, lower facades should incorporate the use of basepanels. Basepanels are located below the display windows.

9.0 Basepanels

In the makeup of traditional facades, which are the most prominent in downtown areas the storefront level is very important in establishing an image for the pedestrian level. Base panels and base boards are a traditional feature which were found on traditional victorian buildings. In this case, it is desirable for the basepanels to be implemented and to follow the traditional pioneer theme.

The main problem which exists within the core, is that many lower facades are constructed of inappropriate and exotic materials. Building facades can detract from the character of the downtown if the lower storefronts are constructed from materials which are exotic or foreign to the victorian theme. In addition, materials used for base panels should coordinate with the display window and upper fascia.

Base panels and base boards are a traditional detail which should be implemented in storefront improvements, wherever possible.

Recommendations

1. The base panel or bulkhead should establish the lower exterior wall and connect the display window sill with the ground.
2. Materials to be used for base panels include; brick veneer, exterior grade wood, marble, terracotta and structural glass veneer.
3. Base panels should be of durable quality and be the same colour as the display window.
4. To reinforce the traditional theme, buildings of original brick should have similar brick and wood base panels.
5. Base panels not to be used, include; fieldstone, angel stone, ceramic brick, metal and steel cladding.

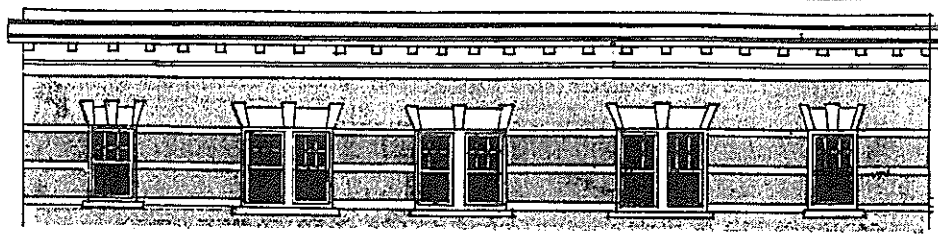


Fig.13 An ornamental molding with dentils provides a formal building cap

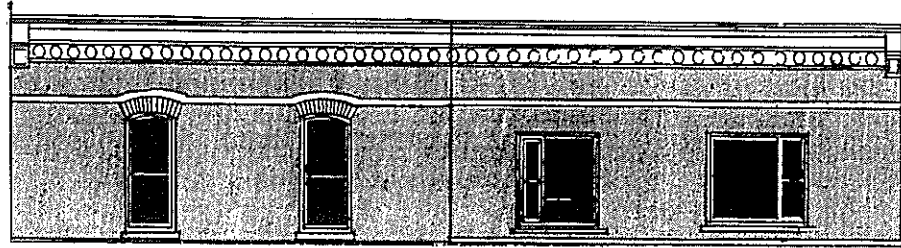


Fig.14 A cornice molding with medallions acts as a traditional building cap

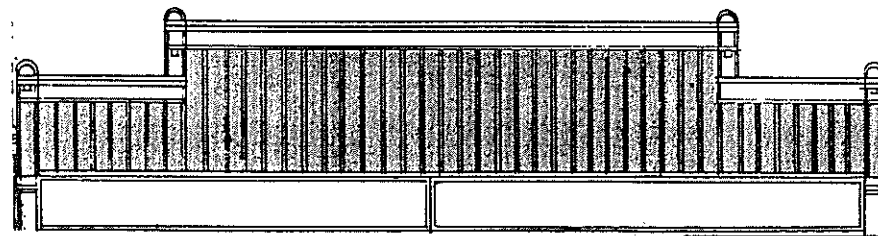


Fig.15 Pioneer and false fronts with board and batten also require cornices

10.0 Cornice Program

Due to the large concentration of traditional buildings in the core, many of them include or have included cornices. The cornice or building cap plays a very important role in providing a termination to the facade wall. In some cases original cornices have been removed on mainstreet and facades can look unfinished. In other cases the cornices are in poor condition and require painting, replacement or upgrading.

The cornice detail is an original architectural element which should be utilized in the upgrading of fascias. In order to enhance the heritage victorian appearance of the core, it is recommended that a '**Cornice Program**' be introduced in the downtown core area. The implementation of this element would singularly provide a uniform and coordinated appearance for the street wall and provide a finished appearance.

Recommendations

1. A 'Cornice Program' is to be implemented as part of a facade improvement strategy for the downtown district.
2. Cornices are to be installed or upgraded according to the block design guidelines.
3. Cornices should be constructed of indigenous wood, pressed metal and stone materials.
4. Facade cornices should be finished in light colour tones on red brick veneers and dark colour tones on yellow brick veneers to contrast with the brick surface.
5. Cornices should be installed at signboard levels where required, to complete the signboard detail on the elevation.

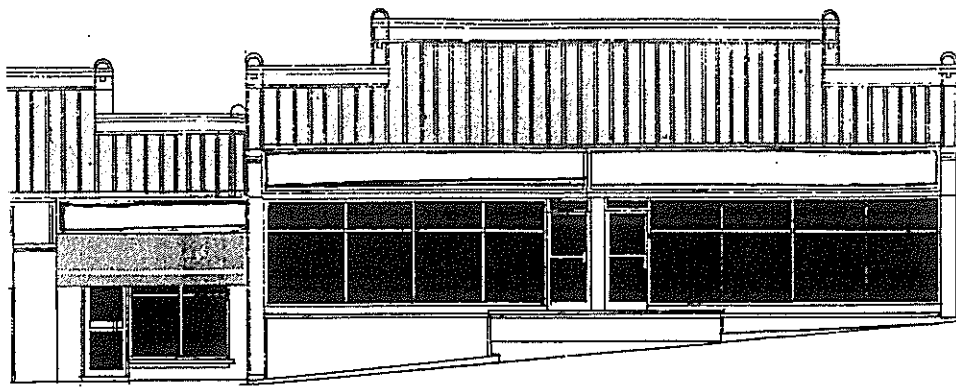


Fig.16 Street wall heights should be increased to 1 1/2 storey heights where possible.

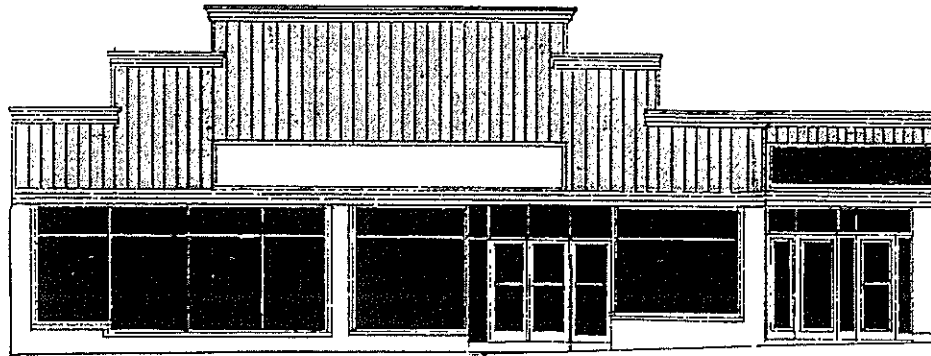


Fig.17 False fronts are most aesthetic in a vertical board and batten finish

Fig.18 In the core area of Haliburton the street wall height should be a minimum of 1 1/2 storeys in height to provide for a desirable human scale. All 1 storey buildings should be encouraged to be rehabilitated. Cornices should also be implemented.

11.0 False Fronts

Distributed irregularly in the street wall along main street are a number of 1 storey buildings. In most cases, these have been recently constructed and many are of an inappropriate design. One storey buildings disrupt the streetwall and do not provide a human scale for the street. In downtown this 1 storey character should be changed.

Following the traditional pioneer theme, false fronts should be implemented on all one storey buildings fronting main street. The design of false fronts or boomtown fronts should be designed in a manner which reflects the pioneer or traditional nature of the core.

Recommendations

1. All building storefronts should be a minimum of 1 and 1/2 storeys in height , including a false front structure where required.
2. False fronts should be constructed of wood or authentic looking cladding with members of a vertical design.
3. To complete the false fronts, cornices should be incorporated. 2 generic designs should be utilized, including; 1) vertical board and batten painted in adopted town colours or; 2) clapboard painted in adopted town colours.
4. The false front walls shall extend above the existing roofline and be of a height similar to the adjacent building fronts.

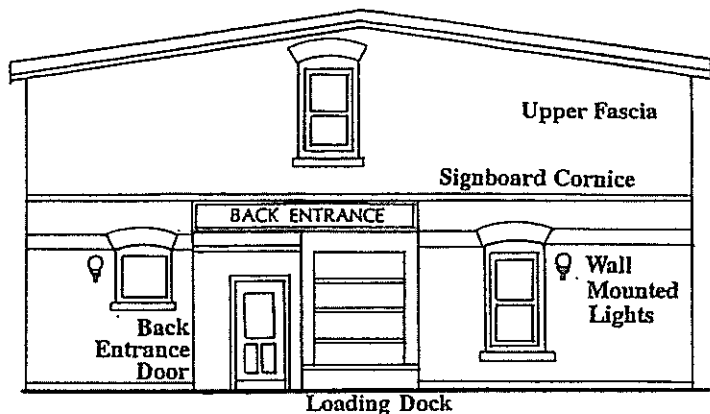


Fig.19 Illustrates a typical rear facade with minor improvements, including a rear entrance

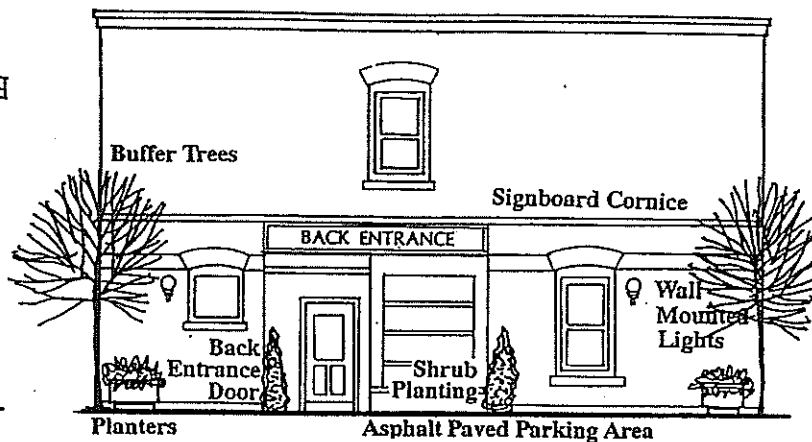


Fig.20 Illustrates a typical rear facade with major improvements, including trees and landscaping

12.0 Rear Facade Treatments

There are 2 conditions which are prevalent, in regards to rear facades of buildings. The first, involves typical rear facade conditions of buildings and back laneways. The second, is a condition where rear facades of buildings have a public side which can be seen from various vantage points, ie. rear facades on the north side of the Highland St. block which can be viewed across the lake. Specific guidelines are provided for building improvements to rear facades. Special attention should be paid to York St. and the public right of ways.

Recommendations

1. Where possible, rear facades should contain a back entrance for public use, particularly if businesses have a back lane parking lot.
2. Signboards should be located above the back entrance door to identify the business name and entrance condition.
3. Rear facades should be upgraded according to the facade guidelines. Upgrading and maintenance should be carried out in order to ensure rear facades are safe and visually presentable.
4. Lighting should be implemented on rear facades to improve safety and visibility, using wall mounted lights and illuminated box signs.
5. Where possible, laneways from the public sidewalk to the back areas are recommended, to improve access.
6. All rear yards and service areas should be paved with a hard surface treatment such as concrete, asphalt, lockstone, etc.
7. Landscape elements, including shrub planting and perimeter tree planting should be implemented.

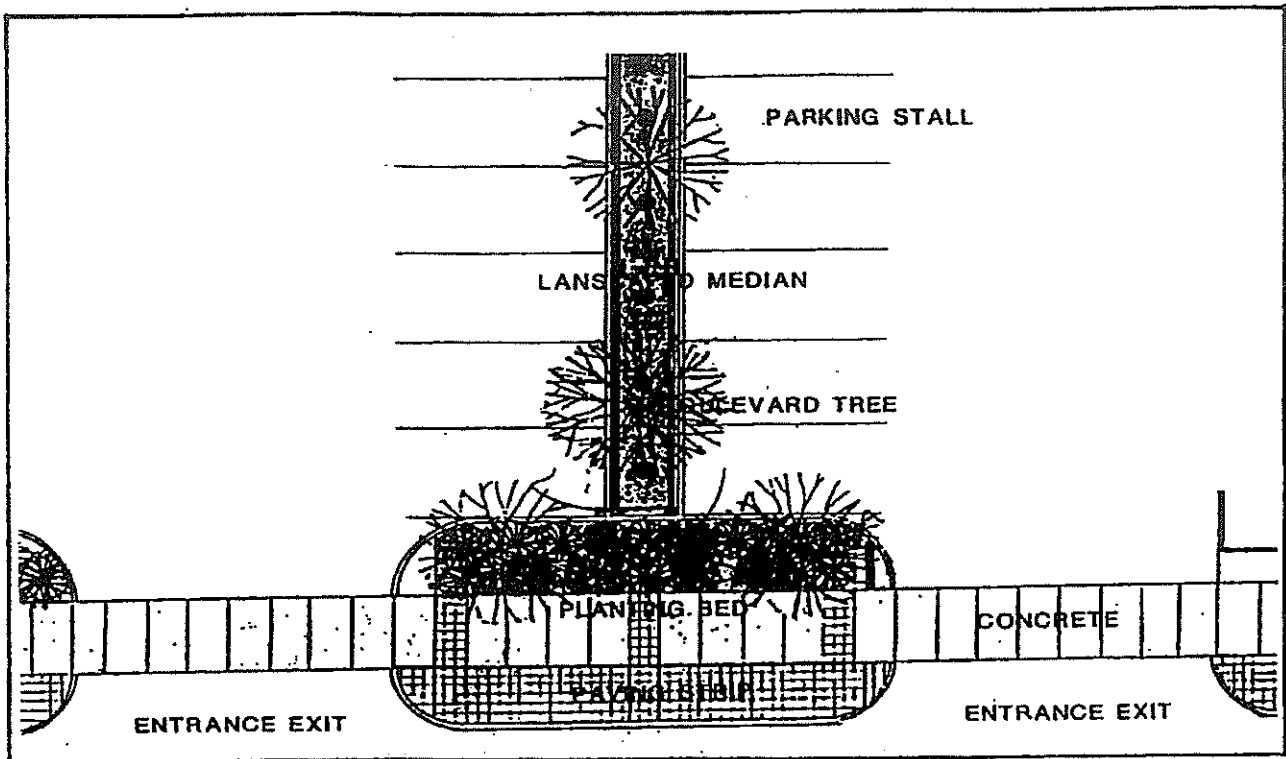


Fig.21 The above figure illustrates the various landscaping , fencing and buffer treatments which can be implemented to improve the appearance of surface parking lots in the downtown core. Perimeter buffer treatments are recommended.

13.0 Parking Lot Improvements

Parking lot conditions and layouts are the most negative aspects and problems affecting the function, visual perception and appearance of Haliburton. In many cases, existing parking lots, both public and private have not been maintained and create gaps in commercial frontage and for this reason require improvements to make their appearance more aesthetic. Improvements to parking lots are one of the major priorities in improving the appearance of the core.

There are several public parking lots in the side and rear block areas which require immediate upgrading and improvement to reinforce the appearance of the downtown. At present the parking lots are the main feature which negatively impact the image of the core area. It is recommended that the parking lot improvements are a major priority of Haliburton.

Improvements should include the following features; boulevard tree planting around the perimeter of paved areas, landscape buffering with deciduous and evergreen shrubs, interior parking lot islands with tree planting and in some cases perimeter screen fencing. The Urban Design Plan of 1999 indicates parking lot locations and landscaping treatment. Another important element to improve parking lots, is to include parking lot identification signage as described in guidelines. An example of a public parking lot treatment is provided in figure 21 which includes proper signage and landscaping features. This lot is a good model to follow for other sites.

The example provided is the parking lot at the IGA and Valu Mart. In this case there is a sidewalk node.